

File No. S15-0015

Location Map

Hooverville Agricultural
Employee Housing

 Project Site

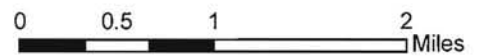


Exhibit A

PORS. SECS. 33,34, T.11N., R.10E., M.D.M.

89:32

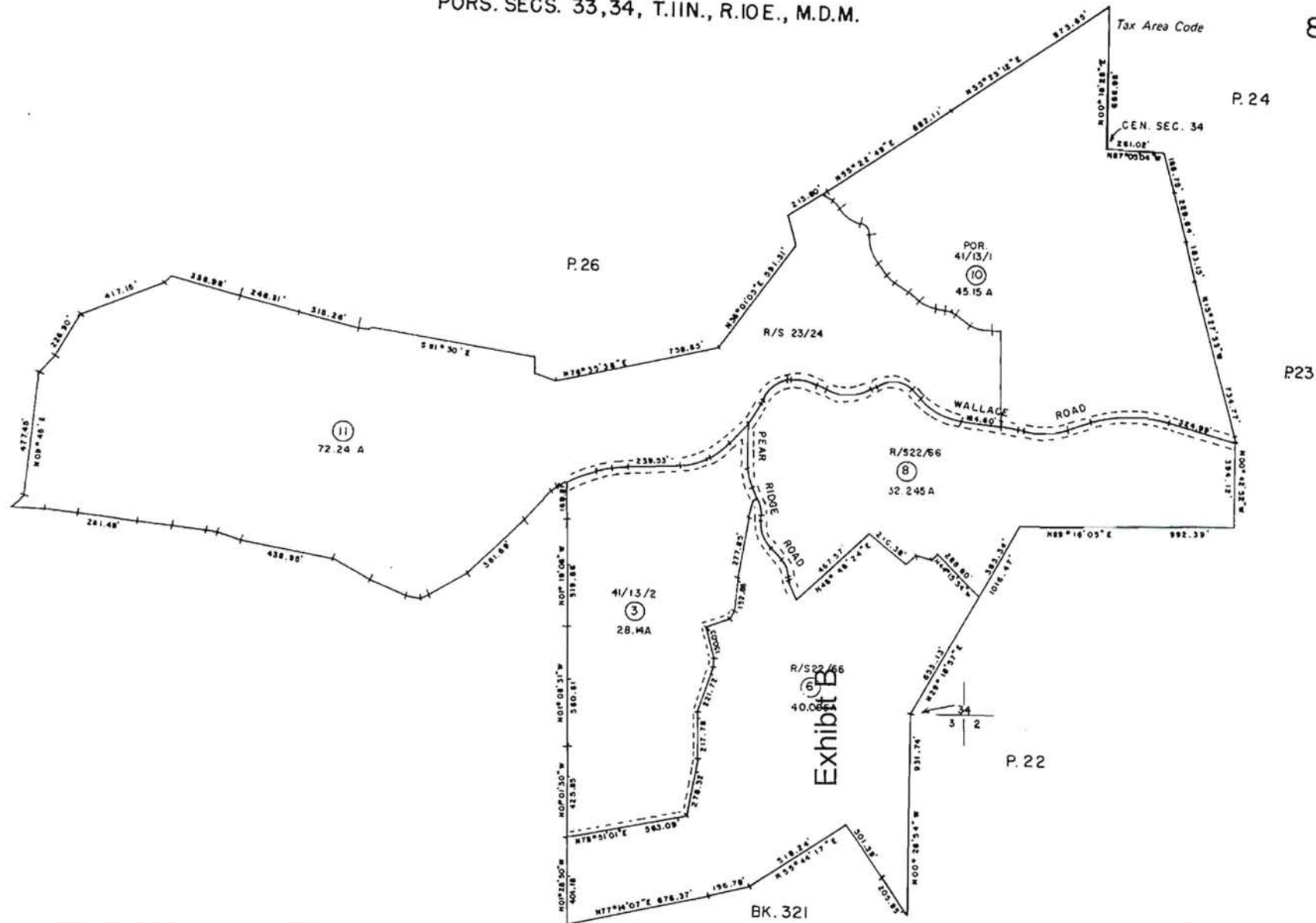
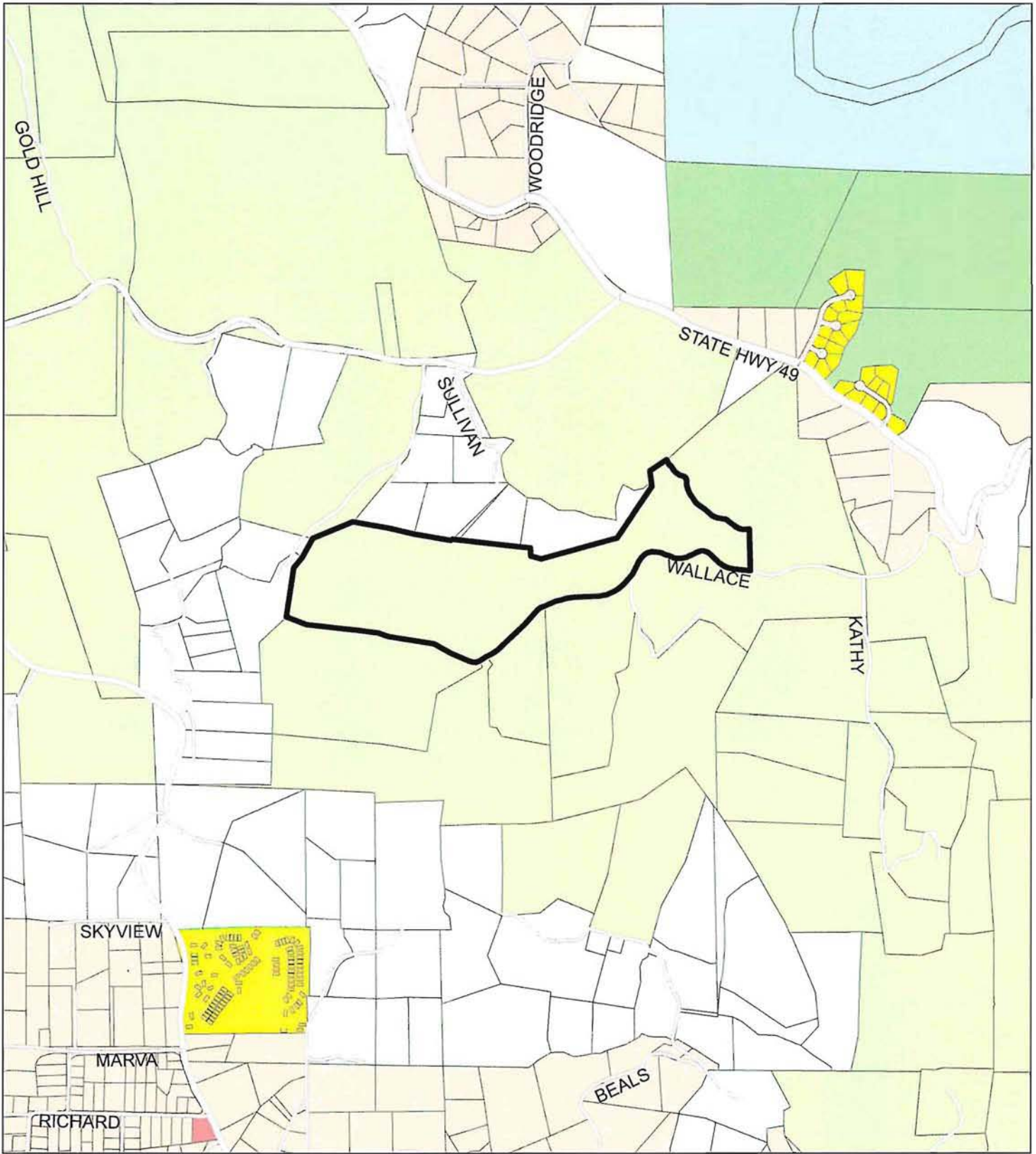


Exhibit B

THIS MAP IS NOT A SURVEY, it is prepared by the El Dorado Co. Assessor's office for assessment purposes only.

NOTE - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles



File No. S15-0015
Land Use Map
 Hooverville Agricultural
 Employee Housing

- | | |
|--------------------------|----------------------------|
| Project Site | Medium Density Residential |
| Agricultural Lands | Natural Resources |
| Commercial | Open Space |
| High Density Residential | Rural Residential |
| Low Density Residential | |

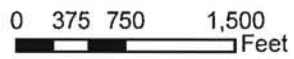
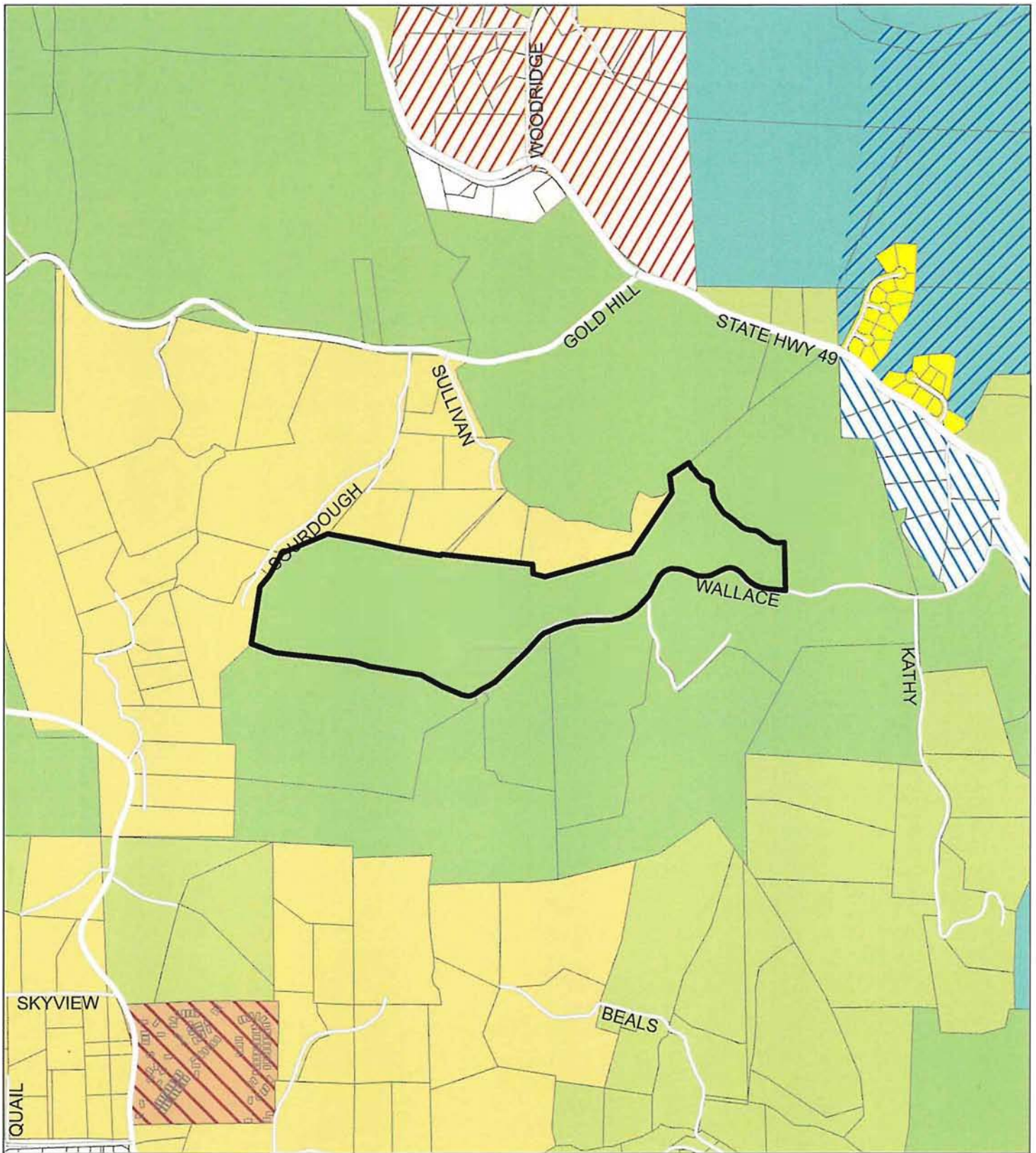


Exhibit C



File No. S15-0015
Zoning Map

Hooverville Agricultural
 Employee Housing









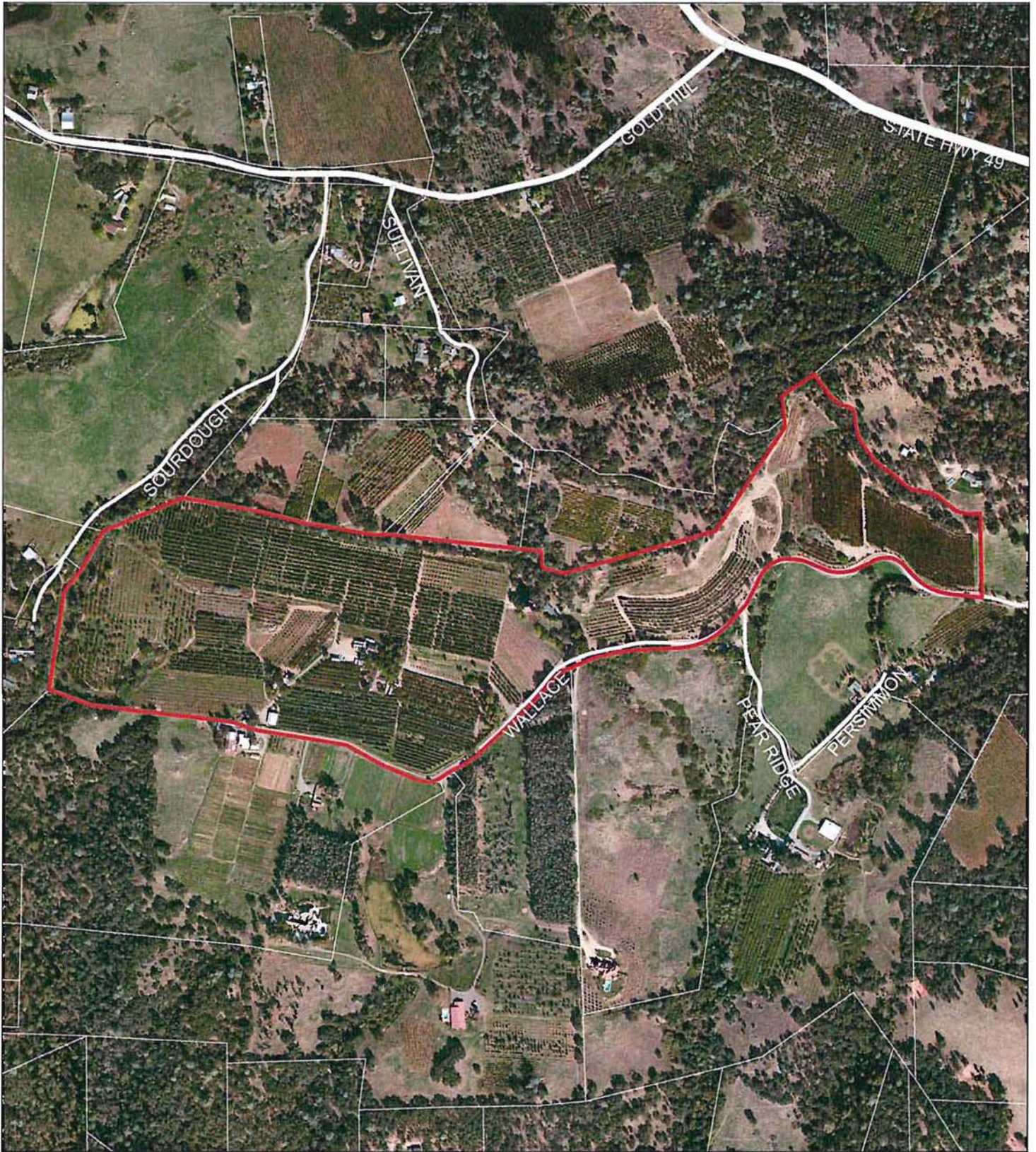
-  Project Site
-  Exclusive Agricultural (AE)
-  Multifamily Residential (RM)
-  One-Family Residential (R1)
-  One-Acre Residential (R1A)
-  Single-Family Two-Acre (R2A)
-  Single-Family Three-Acre (R3A)
-  Estate Residential Five-Acre (RE-5)
-  Estate Residential Ten-Acre (RE-10)
-  Residential Agricultural 20-acre (RA-20)
-  Residential Agricultural 40-acre (RA-40)



Exhibit D



File No. S15-0015
Aerial Map

 Project Site

Hooverville Agricultural
Employee Housing

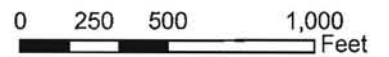


Exhibit E



SURVEY NOTES:

- 1-1 BATH OF BEATING IS RECORD FOR PLANNING PURPOSES. THE ADJACENT RIVERBANK PROPERTY IS MARKED AS THE 1950S PER THE RECORDATION COPY IN THE RECORD. LOCATION FROM ADJACENT TRAILS AND CORNERS SHOULD BE VERIFIED AND DOCUMENTED. THE PERIMETER OF THIS PROPERTY IS TO BE VERIFIED AND THE DESIGN ONLY. OPTIONAL WALLS SHOULD BE CONSIDERED AND NOTED.
- 2-1 ELEVATIONS ARE IN FEET AND DECIMALS THEREOF. THE ELEVATION OF THE BENCHMARK IS AS SHOWN.
- 3-1 CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
- 4-1 CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
- 5-1 ALL CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
- 6-1 ALL CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
- 7-1 ALL CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
- 8-1 ALL CONCRETE ARE CONCRETE CONCRETE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.

SURVEY LEGEND:

- FOUND SURVEY ADJACENT
- WATER FACILITY
- ADJACENT VALUE
- OUR TREE
- OUR TREE CLUSTER
- OUR TREE
- OUR TREE

UNUTILIZED MAP
Map by the Surveyor's Office



OVERHEAD POWER LINES
ON OR NEAR AT POINTS
FOR DIST 1100-213

**SEE GRADING PLANS FOR
DETAILED GRADING OF
(P) MAIN RESIDENCE & DRY.**

SANDWICH DIRT ROAD
APN: 089-320-12

SANDWICH DIRT ROAD
APN: 089-320-11

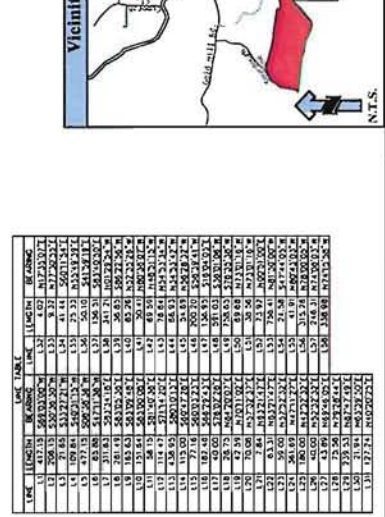
SANDWICH DIRT ROAD
APN: 089-320-10

SANDWICH DIRT ROAD
APN: 089-320-09

SANDWICH DIRT ROAD
APN: 089-320-08

SANDWICH DIRT ROAD
APN: 089-320-07

UNUTILIZED MAP
Map by the Surveyor's Office



OVERHEAD POWER LINES
ON OR NEAR AT POINTS
FOR DIST 1100-213

**SEE GRADING PLANS FOR
DETAILED GRADING OF
(P) MAIN RESIDENCE & DRY.**

SANDWICH DIRT ROAD
APN: 089-320-12

SANDWICH DIRT ROAD
APN: 089-320-11

SANDWICH DIRT ROAD
APN: 089-320-10

SANDWICH DIRT ROAD
APN: 089-320-09

SANDWICH DIRT ROAD
APN: 089-320-08

SANDWICH DIRT ROAD
APN: 089-320-07

SANDWICH DIRT ROAD
APN: 089-320-06

SANDWICH DIRT ROAD
APN: 089-320-05

SANDWICH DIRT ROAD
APN: 089-320-04

SANDWICH DIRT ROAD
APN: 089-320-03

SANDWICH DIRT ROAD
APN: 089-320-02

SANDWICH DIRT ROAD
APN: 089-320-01

SANDWICH DIRT ROAD
APN: 089-320-00

SANDWICH DIRT ROAD
APN: 089-320-00

SANDWICH DIRT ROAD
APN: 089-320-00

SANDWICH DIRT ROAD
APN: 089-320-00

SANDWICH DIRT ROAD
APN: 089-320-00

SANDWICH DIRT ROAD
APN: 089-320-00

Exhibit F



Agricultural Commission Staff Report

Date: October 28, 2015
To: El Dorado County Agricultural Commission
From: LeeAnne Mila; Deputy Agricultural Commissioner
Subject: Agricultural Commission review of Special Use Permit request to allow permanent agricultural worker housing.
S15-00015/HOOVERVILLE AG HOUSING
APN: 089-320-11

Planning Request and Project Description:

Planning services is requesting a written recommendation on a special use permit request for three permanent agricultural employee housing units at Hooverville Orchard. All three of the permanent agricultural housing buildings are existing structures. The parcel is under a Williamson Act Contract. The property, identified by Assessor's Parcel Number 089-320-11, consists of 72 acres, and is located at 1135 Wallace Rd., in the Gold Hill Area. (District IV).

Department of Agriculture records show that 69 acres, of the total 72 acres on APN: 089-320-11, are currently being utilized for permanent crop production.

Discussion:

Chapter 130.36.040(L) of the County code requires that applications for agricultural labor housing be approved *only upon a favorable recommendation from the agricultural commission* that the activities conducted on the property or contiguous properties under the same ownership satisfy the criteria for an agricultural operation.

In addition, the following two General Plan policies direct Commission guidance:

Policy 8.1.4. - The County Agricultural Commission shall review all discretionary development applications and the location of proposed public facilities involving land zoned for or designated agriculture, or lands adjacent to such lands, and shall make recommendations to the reviewing authority. Before granting approval, a determination shall be made by the approving authority that the proposed use:

- A. Will not intensify existing conflicts or add new conflicts between adjacent residential areas and agricultural activities; and
- B. Will not create an island effect wherein agricultural lands located between the project site and other non-agricultural lands will be negatively affected; and
- C. Will not significantly reduce or destroy the buffering effect of existing large parcel sizes adjacent to agricultural lands.

Policy 8.2.3.1. - A special use permit shall be required for additional dwellings over and above those allowed by right for permanent and seasonal agricultural employees. The Agricultural Commission shall review the application and make recommendation on the necessity and compatibility of the additional dwelling units with the agricultural activities both on- and off-site. The special use permit shall be subject to the following provisions:

- A. The housing is clearly needed for and incidental to agricultural production and related uses on the site; and
- B. The housing is constructed and maintained to conform to the minimum standards contained in the Uniform Building Code or as otherwise regulated by the State Department of Housing and Community Development for migrant farm labor housing.

Staff Recommendation: Staff recommends APPROVAL of SF15-00015, as all the necessary findings can be made for this project.

- 1.) Activities on this property satisfy the criteria for an agricultural operation
- 2.) All determinations necessary for General Plan Policy 8.1.4.1 can be made.
- 3.) Determinations as required by General Plan Policy 8.2.3.1 can be made. The agricultural operation on APN: 089-320-11 necessitates agricultural employees and housing. The three existing agricultural housing structures will be compatible with agricultural activities both on and off the site.

Hooverville Ag Housing
S15-00015

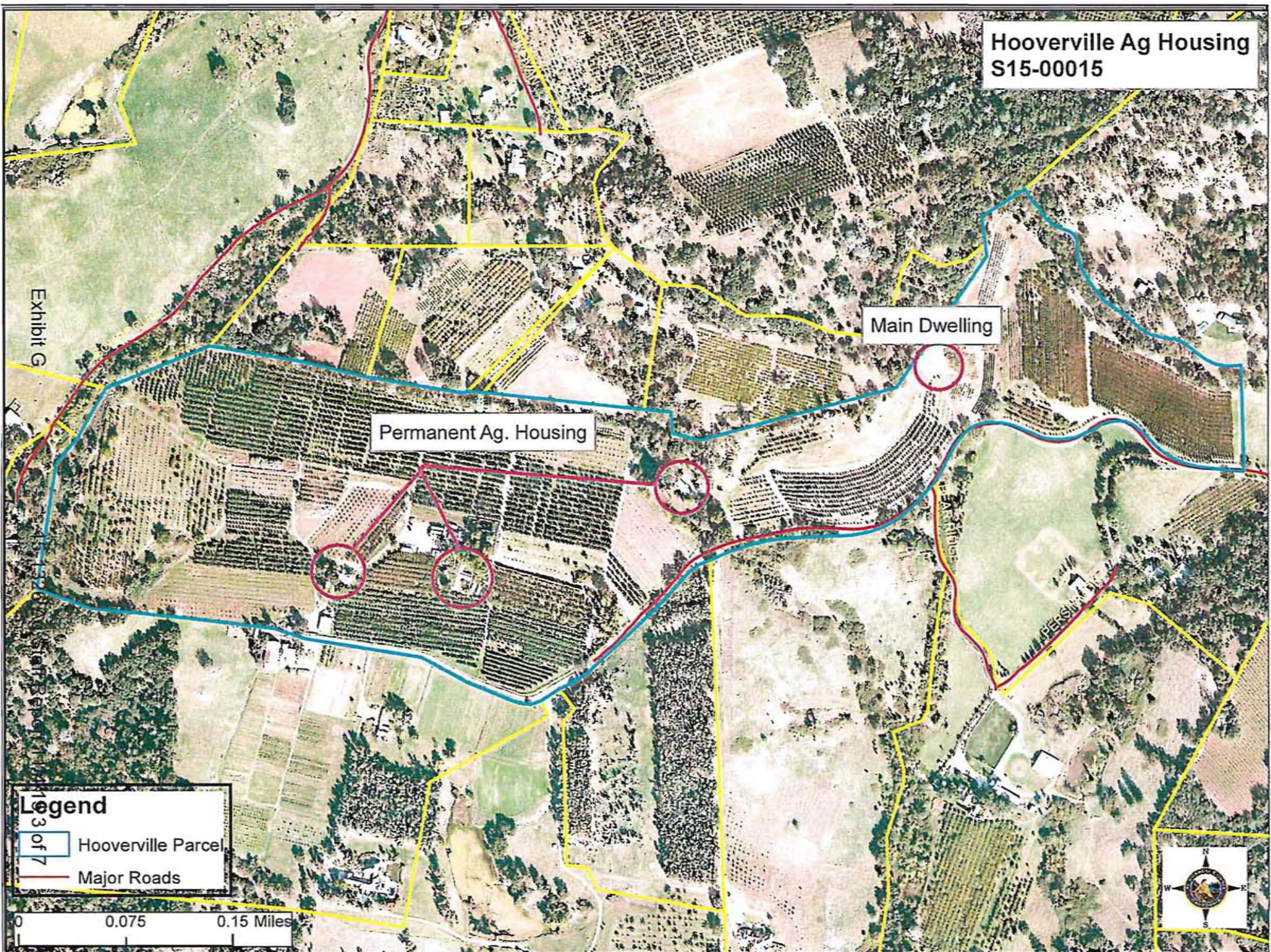


Exhibit G

Main Dwelling

Permanent Ag. Housing

Legend

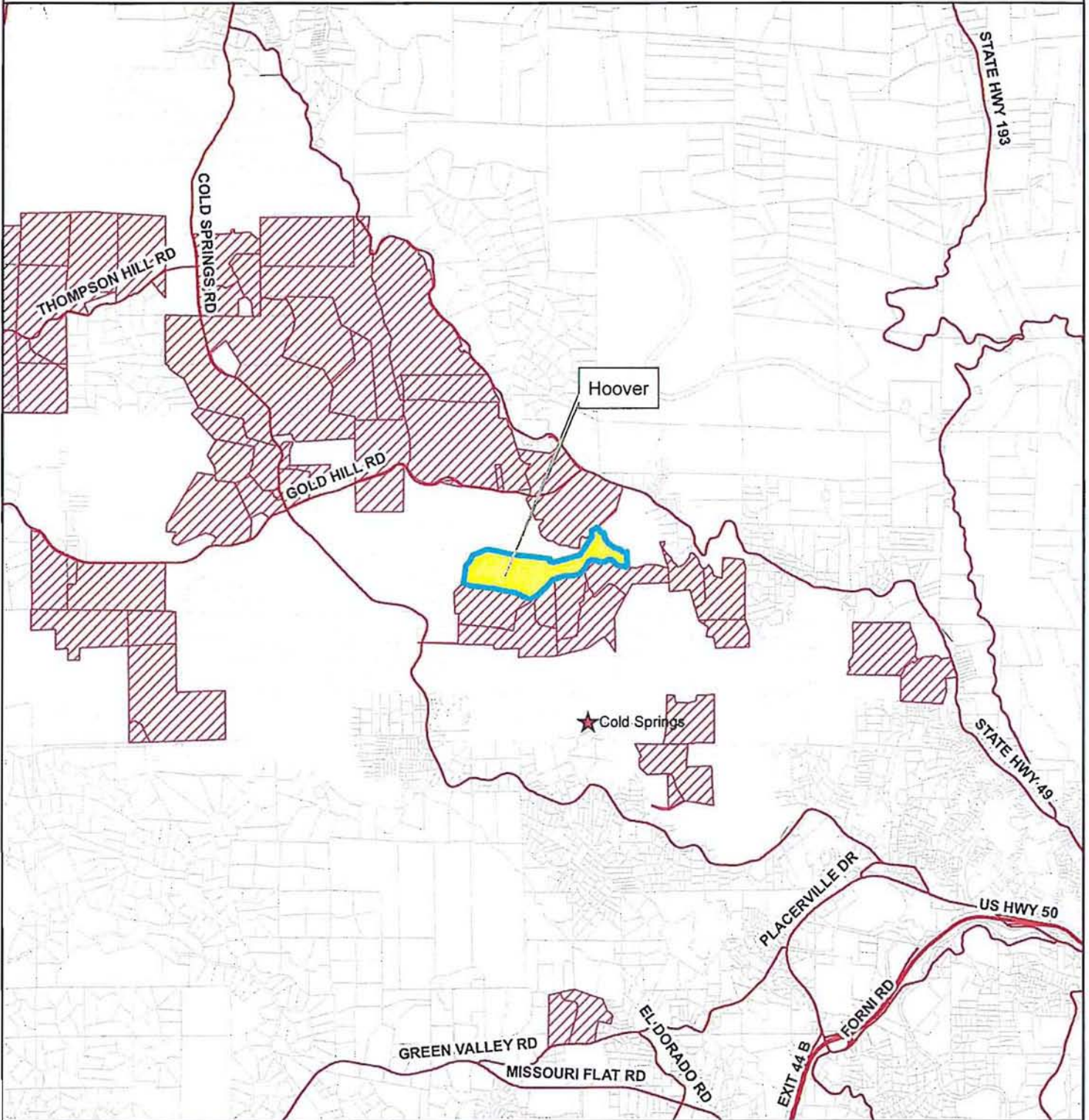
- Hooverville Parcel
- Major Roads

0 0.075 0.15 Miles



HOOVER

Proximity to Agricultural District



DISCLAIMER

THIS DEPICTION WAS COMPILED FROM UNVERIFIED PUBLIC AND PRIVATE SOURCES AND IS ILLUSTRATIVE ONLY. NO REPRESENTATION IS MADE AS TO ACCURACY OF THIS INFORMATION. PARCEL BOUNDARIES ARE PARTICULARLY UNRELIABLE. USERS MAKE USE OF THIS DEPICTION AT THEIR OWN RISK.

MAP PREPARED BY: Frank Dunlap DATE: Oct. 22, 2013

PROJECT ID: 0072147p

EL DORADO COUNTY SURVEYOR & L.S. DIVISION
PHONE (925) 821-4311 FAX (925) 826-4731

- Hoover Parcel
- Parcel Base
- Ag District
- Major Roads
- Ag Preserves

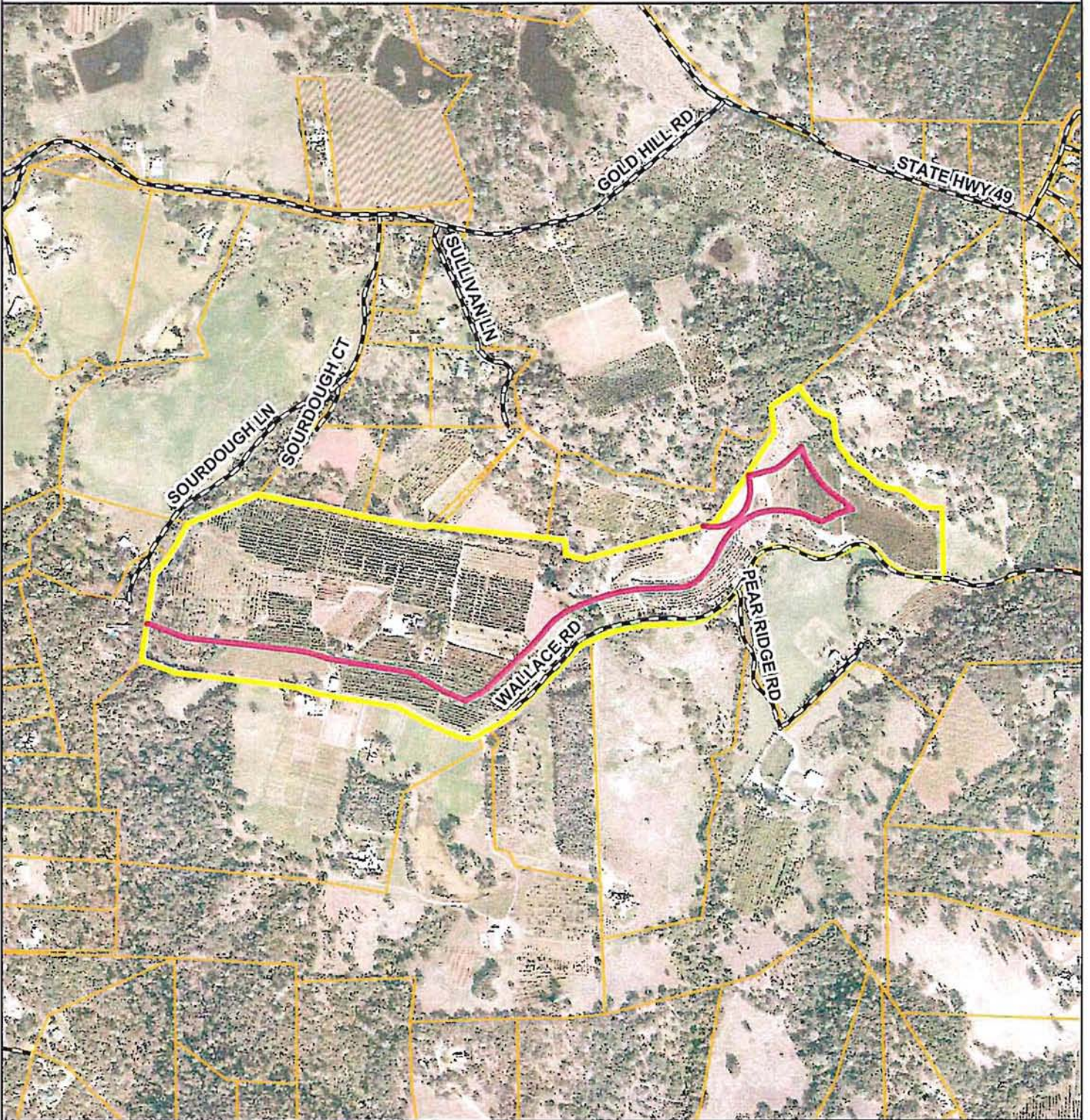


Map Displayed in State Plane Coordinate System (NAD 1983 California Zone 2, feet)



HOOVER

Aerials: 2011



DISCLAIMER





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MAP PREPARED BY: Frank Deiga DATE: Oct. 22, 2011

PROJECT ID: 0072187x

EL DORADO COUNTY SURVEYOR G.L.S. DIVISION
PHONE (951) 621-6511 FAX (951) 626-4721

Legend

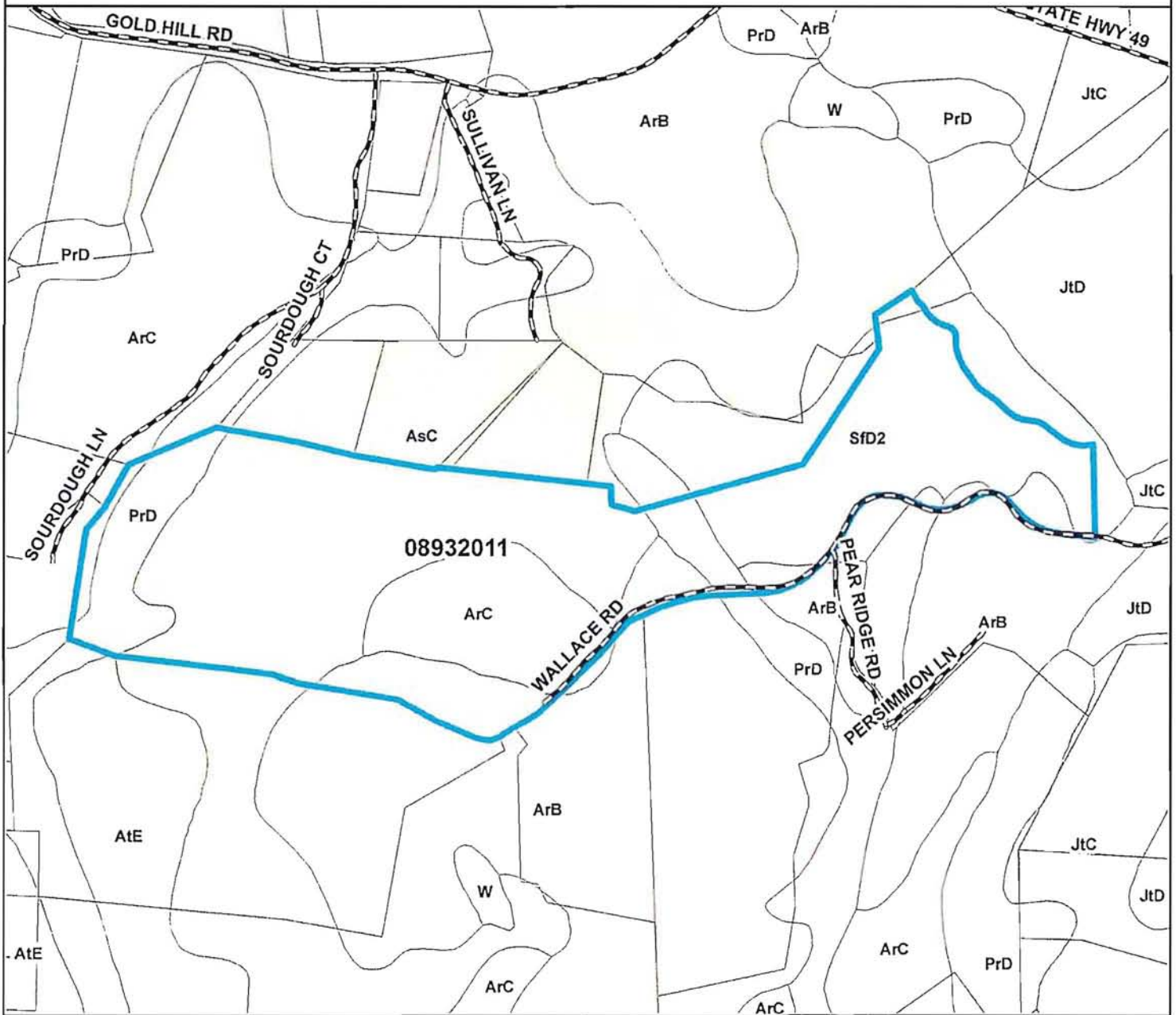
-  Hoover Parcel
-  Parcel Base
-  200ft Setback
-  Roads



Map Displayed in State Plane Coordinate System (NAD 1983 California Zone 2, feet)

HOOVER

Soils



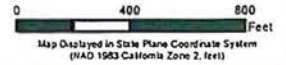
- Hoover Parcel
- ArB - AUBERRY COARSE SANDY LOAM, 5 TO 9 PERCENT SLOPES
- ArC - AUBERRY COARSE SANDY LOAM, 9 TO 15 PERCENT SLOPES
- AsC - AUBERRY ROCKY COARSE SANDY LOAM, 5 TO 15 PERCENT SLOPES
- AIE - AUBERRY VERY ROCKY COARSE SANDY LOAM, 30 TO 50 PERCENT SLOPES
- JtC - JOSEPHINE SILT LOAM, 5 TO 15 PERCENT SLOPES
- JtD - JOSEPHINE SILT LOAM, 15 TO 30 PERCENT SLOPES
- PrD - PLACER DIGGINGS
- Sfd2 - SIERRA SANDY LOAM, 15 TO 30 PERCENT SLOPES, ERODED
- W - WATER
- Parcel Base
- Roads

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MAP PREPARED BY: Frank Bivins DATE: Oct. 22, 2015

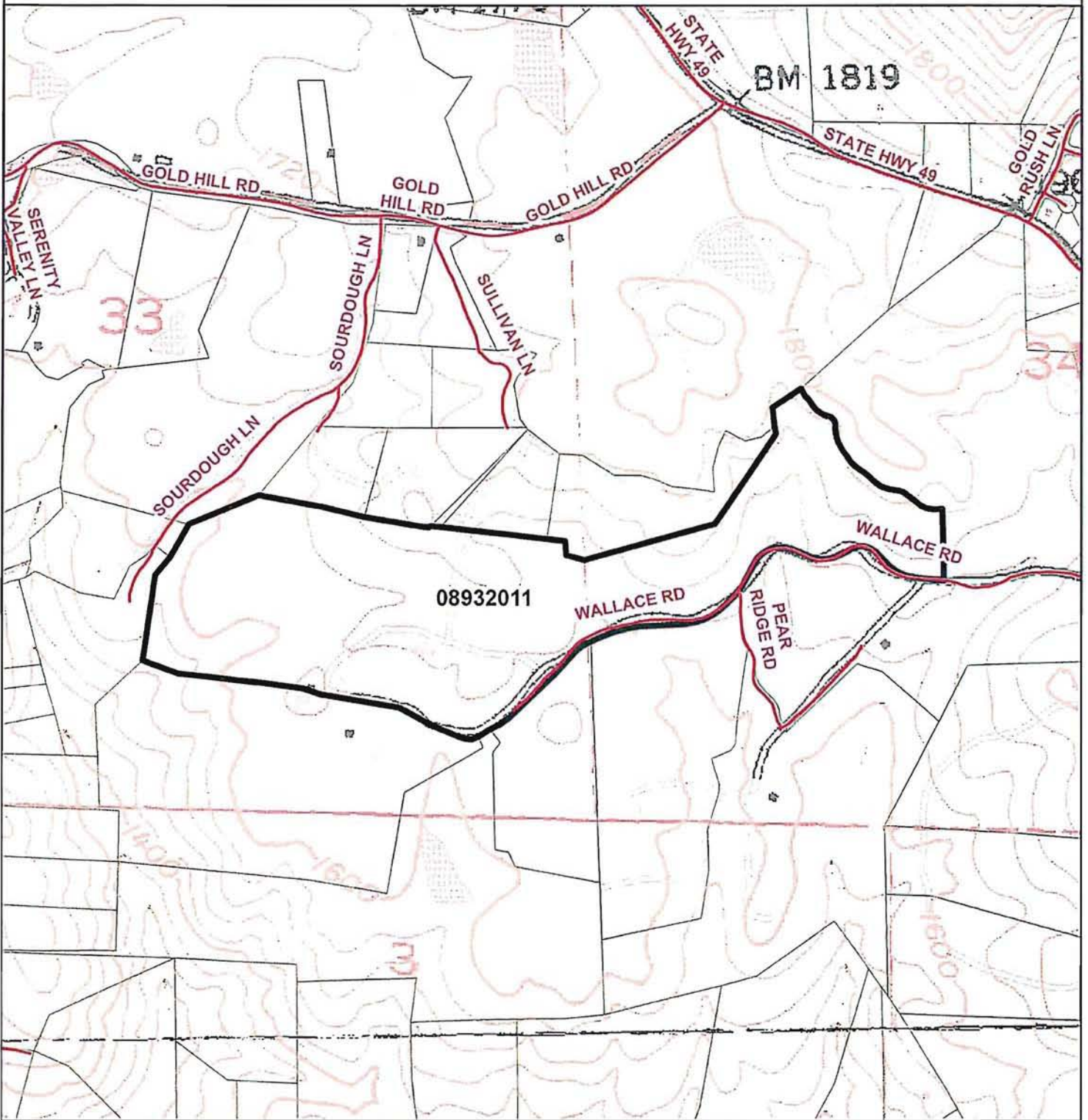
PROJECT ID: 0072167

EL DORADO COUNTY SURVEYOR G.I.S. DIVISION
PHONE (916) 621-4311 FAX (916) 626-4731



HOOVER

Topography



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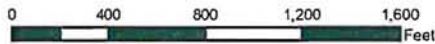
MAP PREPARED BY: Frank Bruggs DATE: Oct 22, 2015

PROJECT ID: 6072187

EL DORADO COUNTY SURVEYOR O.S. DIVISION
PHONE (951) 621-6511 FAX (951) 624-4751

Legend

- Hoover Parcel
- Parcels
- ~ Roads



Map Displayed in State Plane Coordinate System (NAD 1983 California Zone 2, feet)

